

SHEET NO: 1/6

CMDA C3/PP NO: 1

C.No. C3/21355/2005

AREA STATEMENT	SQ.MT
Scrutiny:	
SITE EXTENT AS PART OF	4390.00
SHORTAGE OF AREA AT SITE	208.866
SITE EXTENT	4181.134
COMMERCIAL BLOCK 1	3941.877
COMMERCIAL BLOCK 2	6456.073
TOTAL AREA	10397.950
NON.F.S.I	178.473

F.S.I = 2.486	COVERAGE = 27.02%
104 x 51.3	
TOTAL CARPARKING REQUIRED	
COMMERCIAL BLOCKS	
10397.954 SQ.M. X 75% = 7797.213 Sq.m.	
TOTAL CAR PARKING REQUIRED = 78 NOS.	
TOTAL NO. OF CARPARKING PROVIDED = 94 NOS.	
EASEMENT LEVEL OF BUILDING IS 15.43 Meters	
TOTAL TWO WHEELER PARKING REQUIRED	
10397.954 SQ.M. / 50 SQ.M = 207.951 NOS.	
TOTAL TWO WHEELER PARKING PROVIDED = 209 NOS.	

COLOUR INDEX:

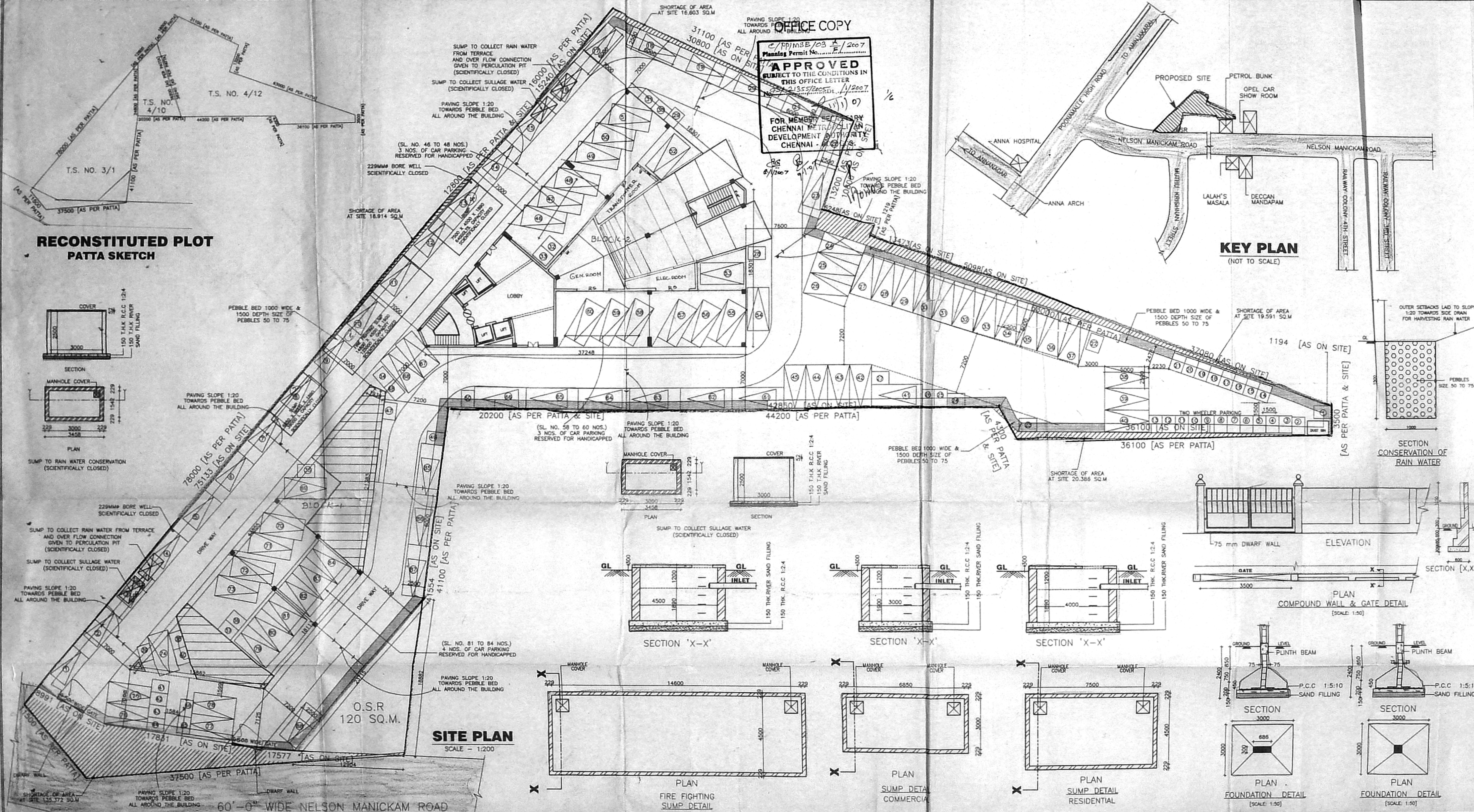
PROPOSED ROAD	
BOUNDARY	

PROPOSED COMMERCIAL BUILDING AT DOOR NO. 173, 103A, 105A NELSON MANICKAM ROAD, CHENNAI. VADA AGARAM DIVISION, EGMORE-NUNGAMBAKKAM TALUK CHENNAI DISTRICT T.S.NO. 3/1, 4/12, 4/10 AT BLOCK NO. 3

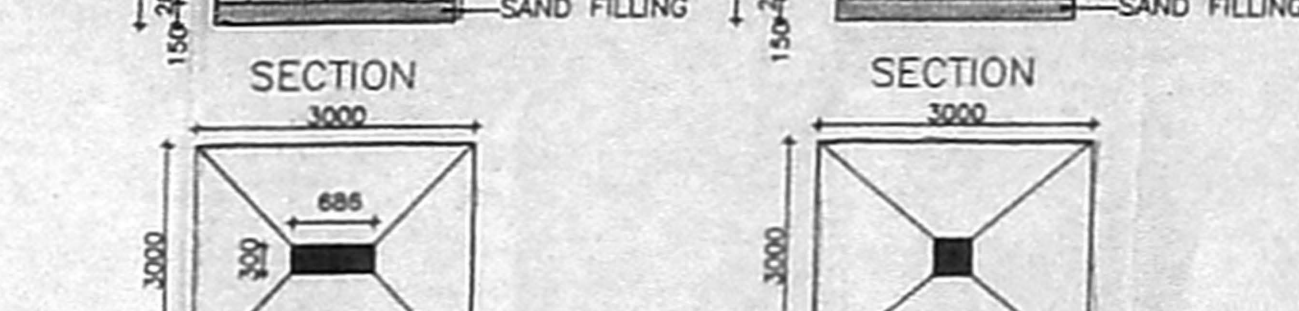
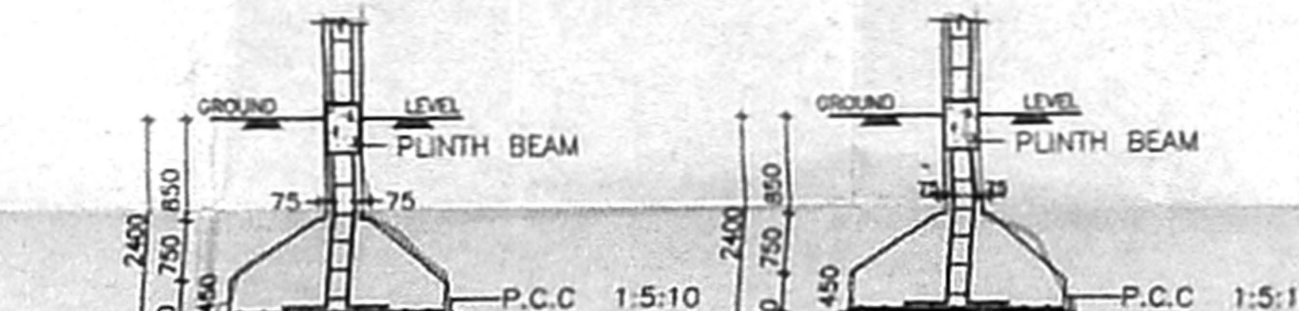
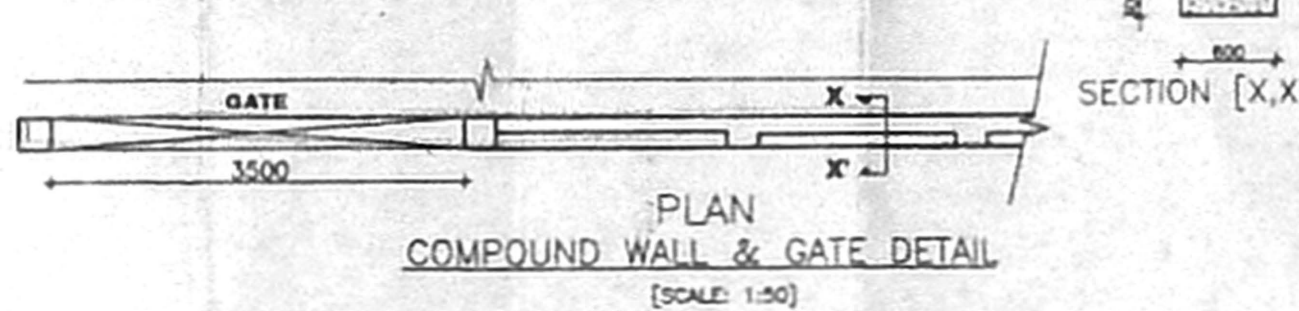
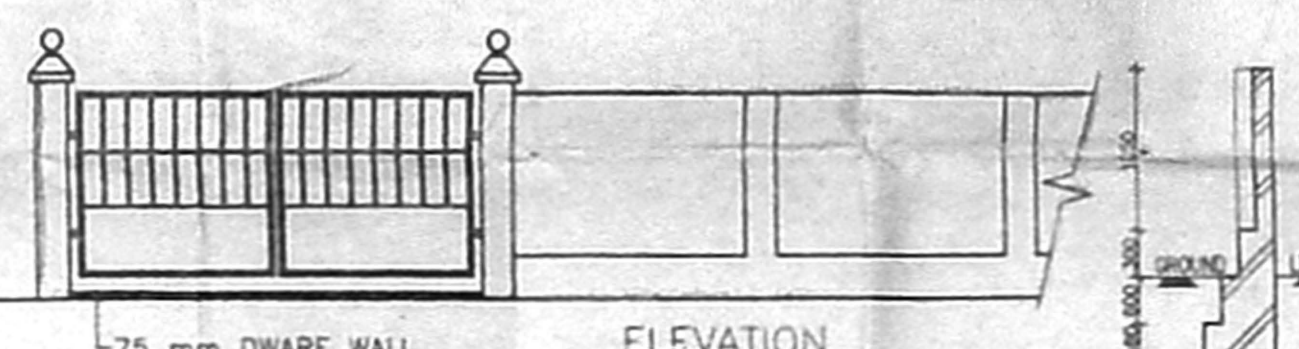
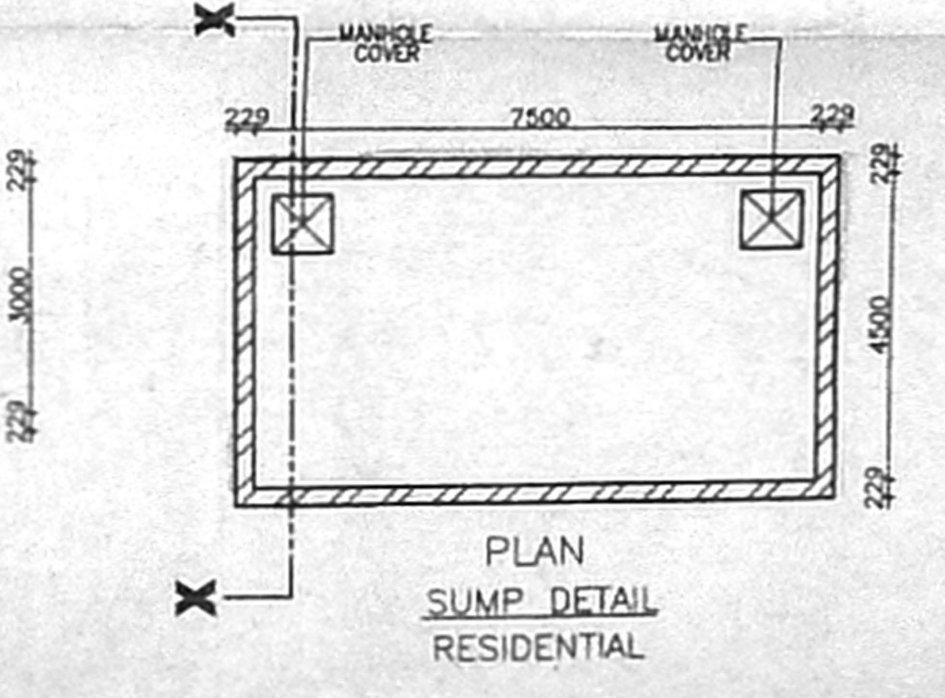
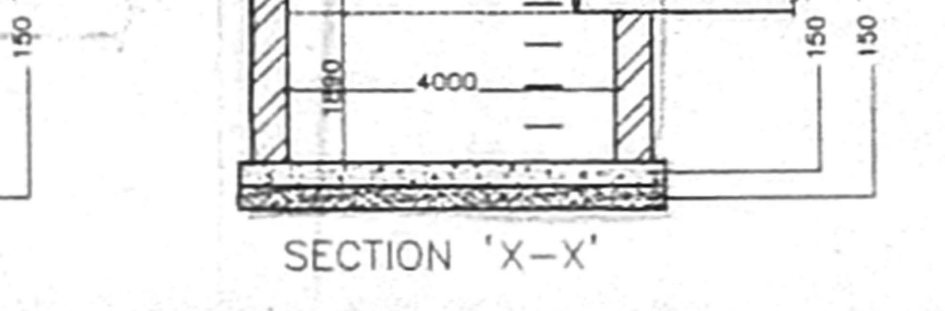
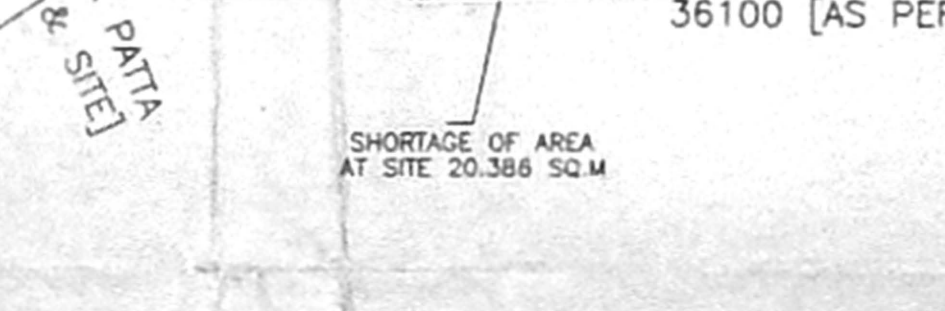
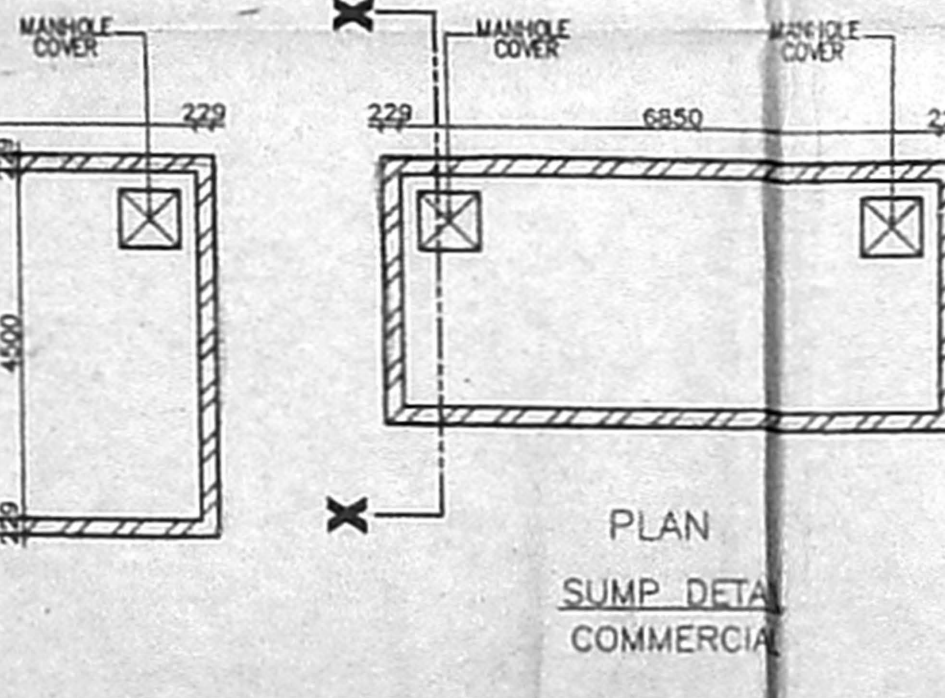
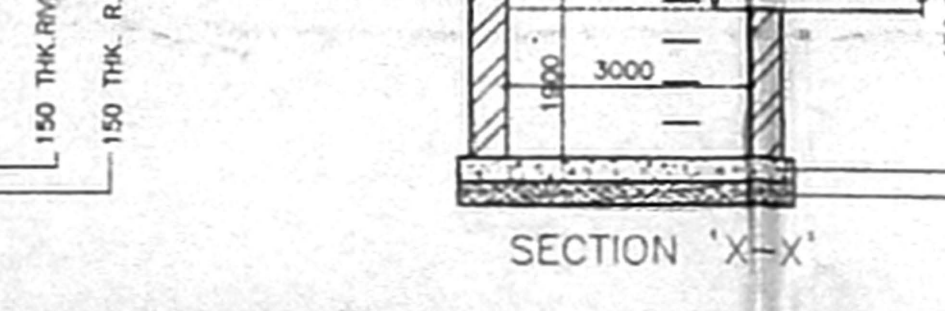
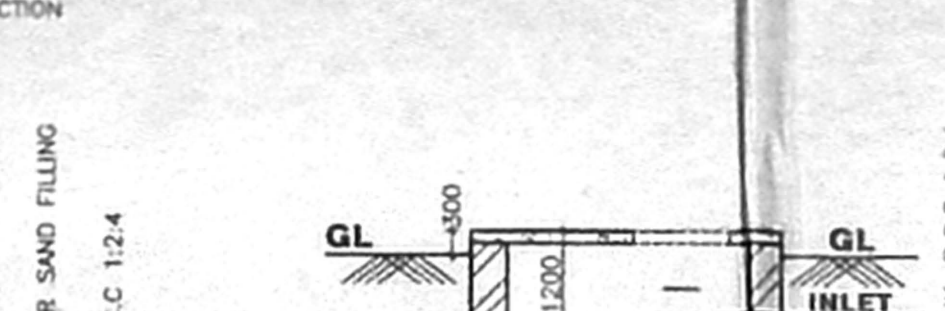
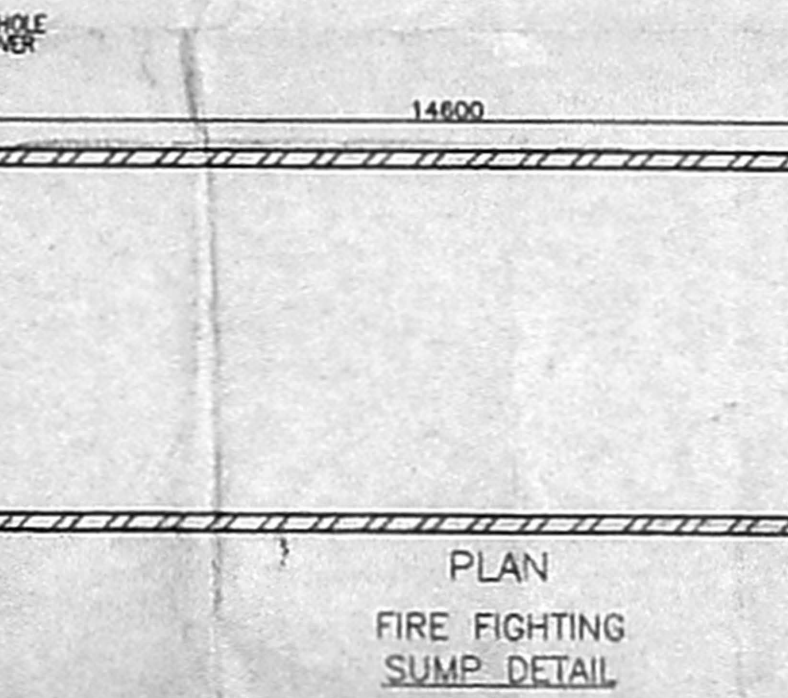
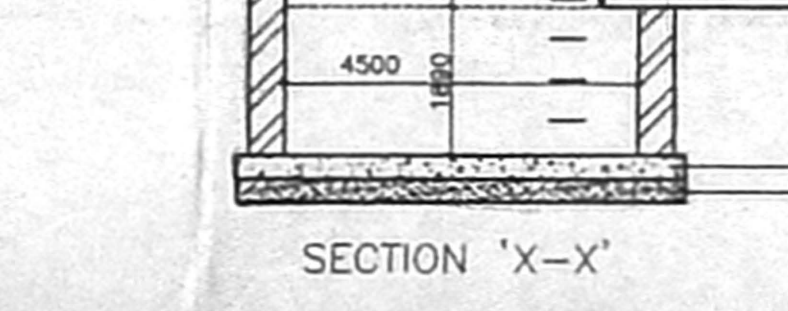
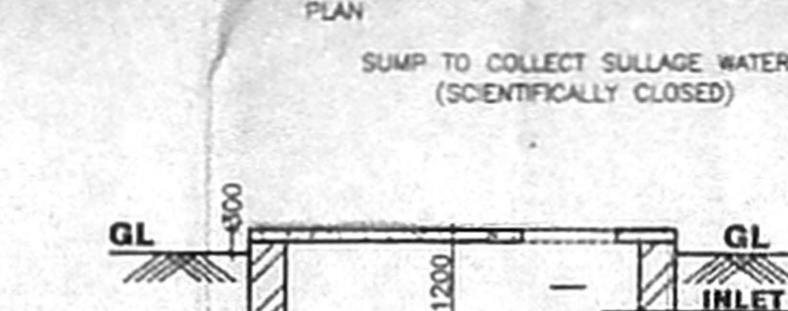
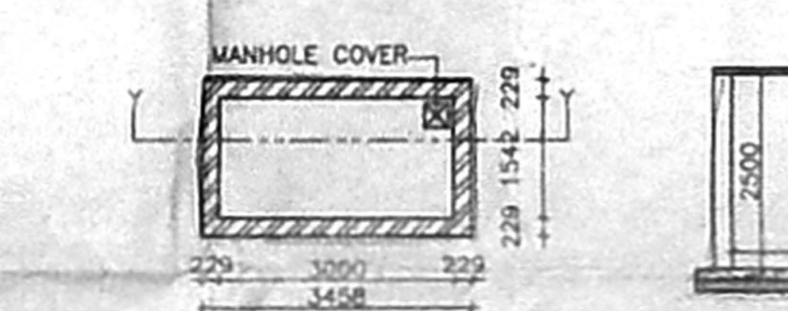
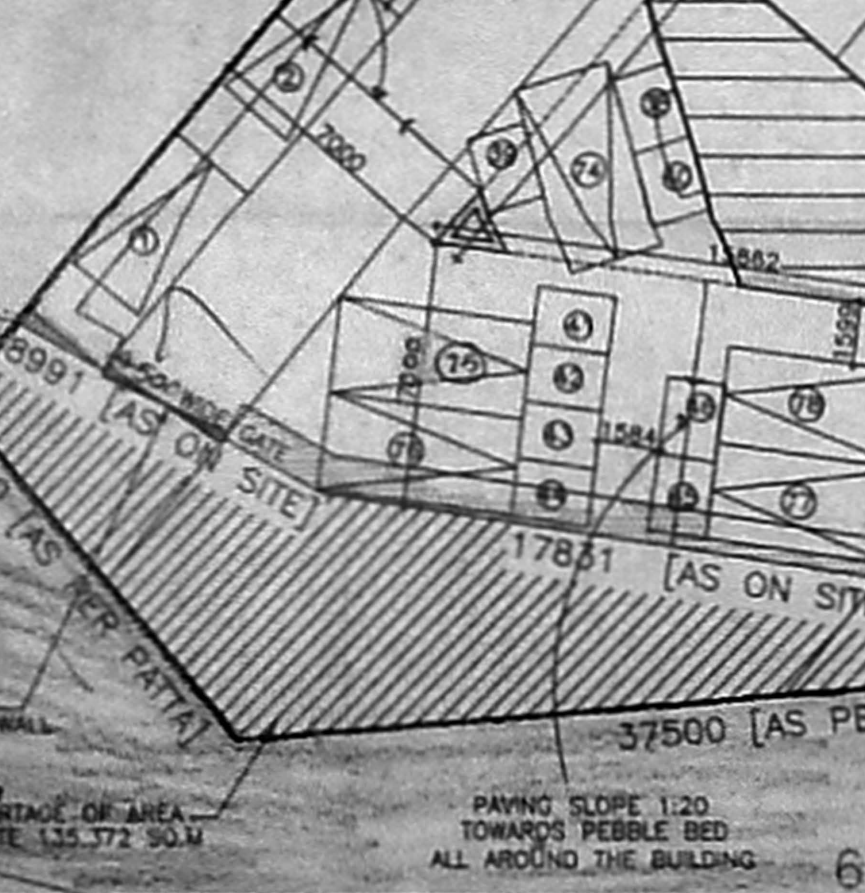
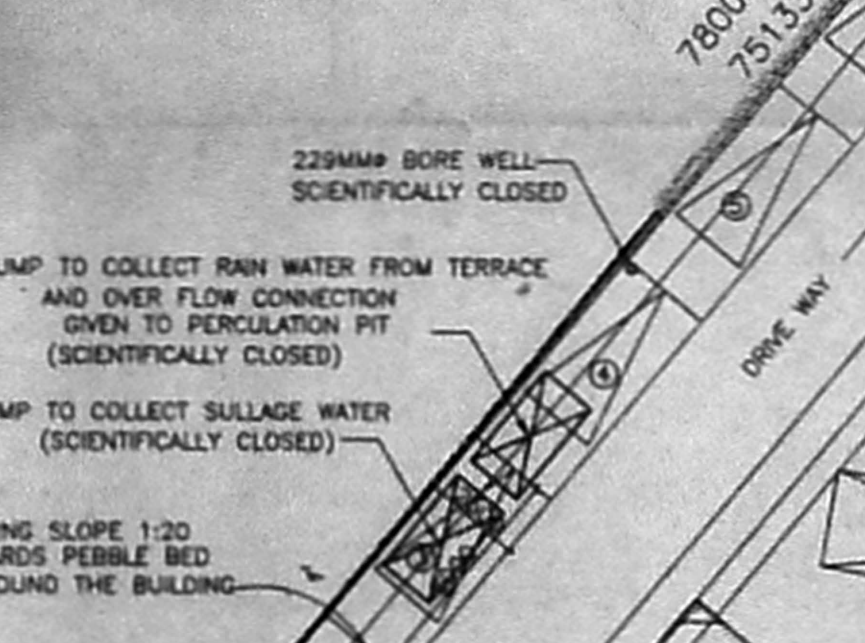
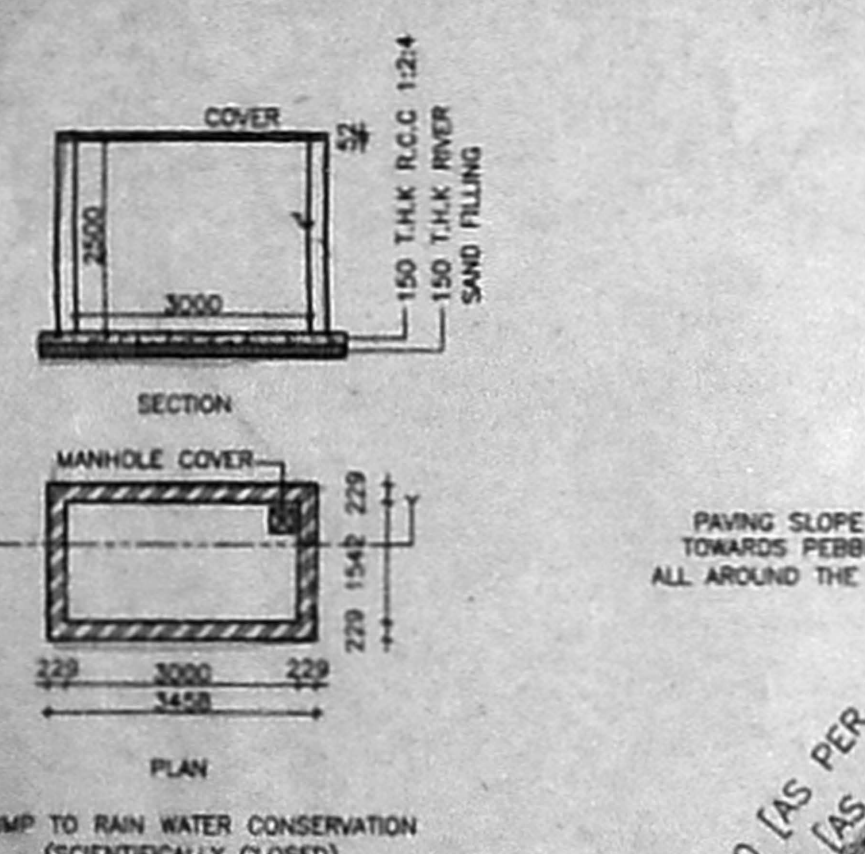
OWNER/POWER OF ATTORNEY SIGNATURE
 DRAWN: 28/7/05
 DATE: 28/7/05
 SCALE: 1:100
 FILE: SITE PLAN

ARCHITECT
 W. ANAND ARCHITECTS
 ARCHITECT & PROJECT INSULTANT
 Council Reg. No. 38/1168
 No. 18, 19, 20 CHOKK STREET, ANNA SALAI, ADYAL, CHENNAI - 600 020
 W. ANAND
 E-MAIL: anandarchitect@yahoo.com TEL: 52118272

OFFICE COPY
 Planning Permit No. C/PP/MSB/03/E/2007
APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER
 No. 21355/2005 dt. 1/2007
 FOR MEMBERS SECRETARY CHENNAI METROPOLITAN DEVELOPMENT AUTHORITY CHENNAI - 600 020.

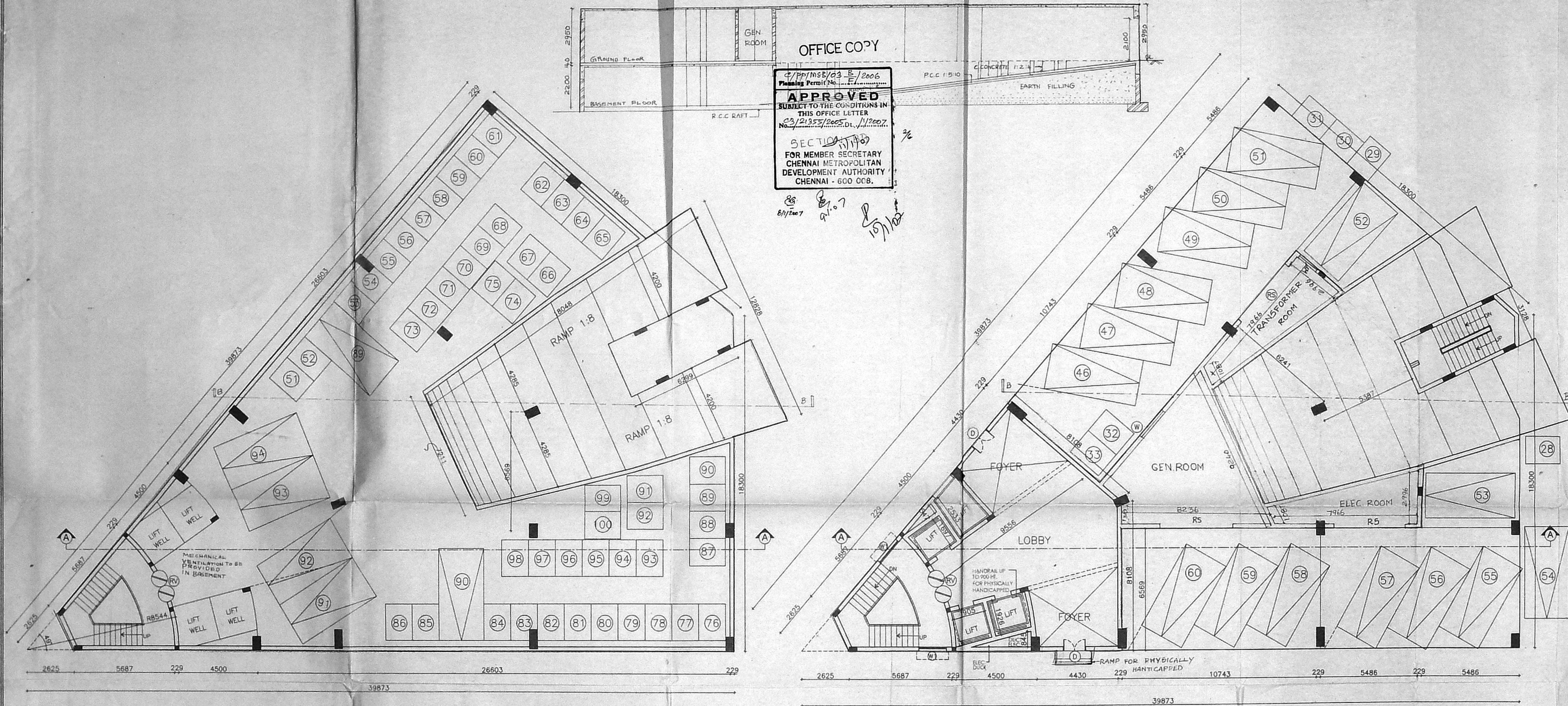


RECONSTITUTED PLOT PATTI SKETCH



SITE PLAN
SCALE - 1:200

O.S.R 120 SQ.M.
 60'-0" WIDE NELSON MANICKAM ROAD



C/PP/MSE/03 B /2006
 Planning Permit No. ...
APPROVED
 SUBJECT TO THE CONDITIONS IN
 THIS OFFICE LETTER
 No. CB/2135/2005 Dt. 11/2007
 SECTION 17(1)(b)
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI - 600 008.

8/1/2007
 9/1/07
 10/1/07

BASEMENT FLOOR PLAN

GROUND/STILT FLOOR PLAN

SHEET NO: 2/6 Block 4
CMDA C3/PP NO: 7
SCHEDULE OF JOINERY
 C.No. 3/2135/2005

TYPE	DETAIL	WIDTH	HEIGHT
MD	COUNTRY WOOD FLUSH DOOR	975	2100
MD1	COUNTRY WOOD SCRUB DOOR	975	2100
MD2	COUNTRY WOOD PARTI DOOR	975	2100
D	COUNTRY WOOD FLUSH DOOR	1200	2100
D1	COUNTRY WOOD FLUSH DOOR	900	2100
D2	COUNTRY WOOD FLUSH DOOR	750	2100
W1	COUNTRY WOOD GLAZED WINDOW	2400	1350
W2	COUNTRY WOOD GLAZED WINDOW	1800	1350
W3	COUNTRY WOOD GLAZED WINDOW	1200	1350
W4	COUNTRY WOOD GLAZED WINDOW	5486	2000
V	COUNTRY WOOD GLAZED VENTILATOR	600	900

SPECIFICATION

FOUNDATION : R.C.C COLUMN FOOTINGS
 BRICK WORK : C.M 1:6 FOR SUPER STRUCTURE
 PLASTERING : C.M 1:5 FOR WALLS & 1:3 FOR CEILING
 FLOORING : MOSAIC FLOORING
 CEMENT PAINT : 2 COAT FOR WALLS &
 104 x 51.6 1 EXTRA COAT FOR CEILING
 R.C.C : MINIMUM GRADE M25 CONCRETE
 WOOD WORK : ALL WOOD WORKS IN BEST
 QUALITY TIMBER
 WEATHERING : B.JELLY LIME MORTAR OVER ROOF
 COURSE : SLAB ONE LAYER OF COUNTRY TILES

COLOUR INDEX:

PROPOSED [Symbol]
 ROAD [Symbol]
 BOUNDARY [Symbol]

AREA STATEMENT

AREA STATEMENT	SQ.MT
BASEMENT-FLOOR	24.26
GROUND FLOOR	154.824

PROPOSED COMMERCIAL
 BUILDING AT DOOR NO. 173, 103A, 105A
 NELSON MANICKAM ROAD, CHENNAI.
 VADA AGARAM DIVISION,
 EGMORE-NUNGAMBAKKAM TALUK
 CHENNAI DISTRICT
 T.S.NO. 3/1, 4/12, 4/10 AT
 BLOCK NO. 3

DRAWN : [Signature]
 DATE : 04/11/05
 SCALE : 1 : 100
 FILE : COMMERCIAL

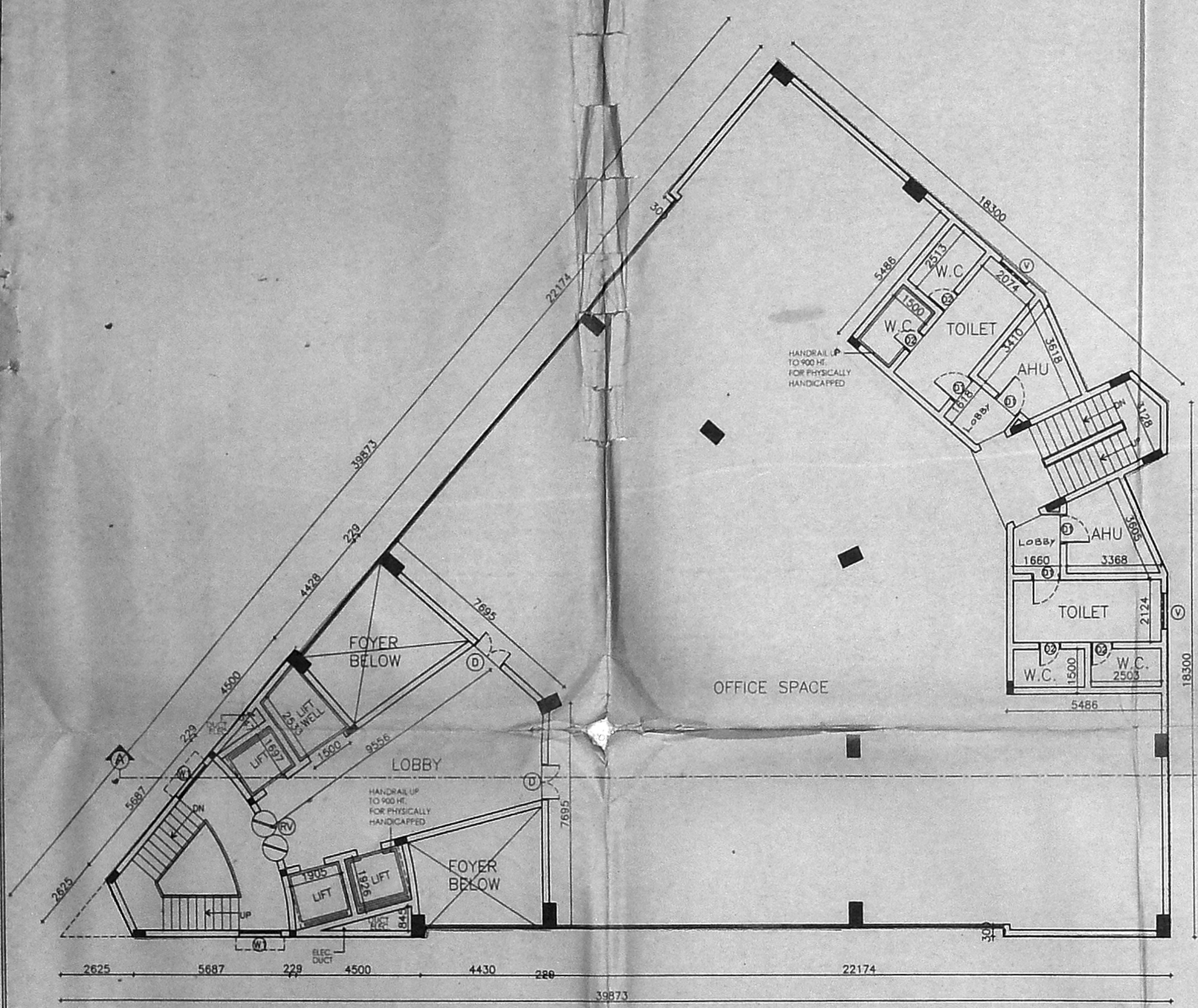
OWNER/POWER OF ATTORNEY SIGNATURE
 [Signature]
 [Signature]

ARCHITECT
W. ANAND ARCHITECTS
 ARCHITECT & PROJECT CONSULTANT
 Council Reg. No. CA/1131
 No. 12, CROSS STREET, INDIA
 CHENNAI - 600 008
W. ANAND

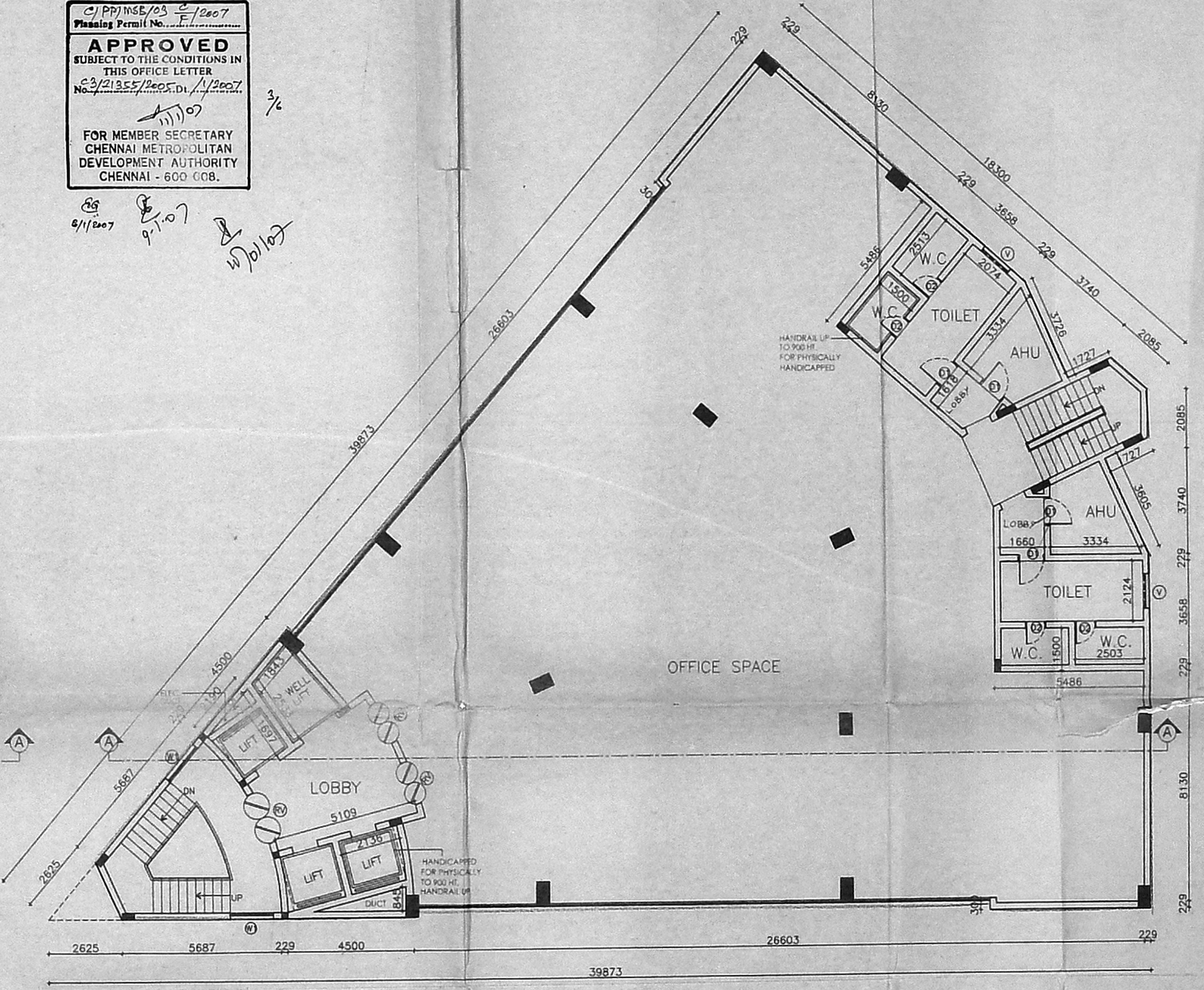
OFFICE COPY

C/PP/MS/03 2/2007
 Planning Permit No. E/.....
APPROVED
 SUBJECT TO THE CONDITIONS IN
 THIS OFFICE LETTER
 No. 3/21355/2005.D1. 1/2007
 3/6
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI - 600 008.

6/1/2007 9/1/07 10/1/07



FIRST FLOOR PLAN



TYPICAL FLOOR PLAN
 [2 TO 9 FLOORS]

SCHEDULE OF JOINERY

TYPE	DETAIL	UNIT	HEIGHT
MD	COUNTRY WOOD FLUSH DOOR	975	2100
MD1	COUNTRY WOOD FLUSH DOOR	975	2100
MD2	COUNTRY WOOD FLUSH DOOR	975	2100
D	COUNTRY WOOD FLUSH DOOR	1200	2100
D1	COUNTRY WOOD FLUSH DOOR	900	2100
D2	COUNTRY WOOD FLUSH DOOR	750	2100
W1	COUNTRY WOOD GLAZED WINDOW	2400	1350
W2	COUNTRY WOOD GLAZED WINDOW	1800	1350
W3	COUNTRY WOOD GLAZED WINDOW	1200	1350
G1	GLAZING	5486	2000
V	COUNTRY WOOD GLAZED VENTILATOR	600	900

SPECIFICATION

FOUNDATION : R.C.C COLUMN FOOTINGS
 BRICK WORK : C.M 1:6 FOR SUPER STRUCTURE
 PLASTERING : C.M 1:5 FOR WALLS & 1:3 FOR CEILING
 FLOORING : MOSAIC FLOORING
 CEMENT PAINT : 2 COAT FOR WALLS &
 104 x 51.4 1 EXTRA COAT FOR CEILING
 R.C.C : MINIMUM GRADE M25 CONCRETE
 WOOD WORK : ALL WOOD WORKS IN BEST
 QUALITY TIMBER
 WEATHERING : B.JELLY LIME MORTAR OVER ROOF
 COURSE : SLAB ONE LAYER OF COUNTRY TILES

COLOUR INDEX:

PROPOSED	[Color Box]
ROAD	[Color Box]
BOUNDARY	[Color Box]

AREA STATEMENT	SQ.MT
FIRST FLOOR	668.501
SECOND FLOOR	701.061
THIRD FLOOR	701.061
FOURTH FLOOR	701.061
FIFTH FLOOR	701.061
SIXTH FLOOR	701.061
SEVENTH FLOOR	701.061
EIGHTH FLOOR	701.061
NINTH FLOOR	701.061

TOTAL AREA 6456.073

PROPOSED COMMERCIAL
 BUILDING AT DOOR NO. 173, 103A, 105A
 NELSON MANIKAM ROAD, CHENNAI.
 VADA AGARAM DIVISION,
 EGMORE-NUNGAMBAKKAM TALUK
 CHENNAI DISTRICT
 T.S.NO. 3/1, 4/12, 4/10 AT
 BLOCK NO. 3

DRAWN : [Signature]	DATE : 04/11/05	SCALE : 1 : 100	FILE : COMMERCIAL
---------------------	-----------------	-----------------	-------------------

OWNER/POWER OF ATTORNEY SIGNATURE
 [Signature]

ARCHITECT
 W. ANAND ARCHITECT & PROJECT CONSULTANT
 No. 18, 19th CROSS STREET, INDRA NAGAR,
 ADYAR, CHENNAI - 600 008
 W. ANAND
 E-MAIL : anandarchitect@yahoo.com TEL : 52116272

SHEET NO: 4/6 BLOCK-2
TYPE
M1 COUNTRY WOOD FLUSH DOOR 975 2500
M2 COUNTRY WOOD FLUSH DOOR 2100 2500
M3 COUNTRY WOOD FLUSH DOOR 975 2500
D1 COUNTRY WOOD FLUSH DOOR 1200 2500
D2 COUNTRY WOOD FLUSH DOOR 750 2500
W1 COUNTRY WOOD GLAZED WINDOW 2400 1200
W2 COUNTRY WOOD GLAZED WINDOW 1800 1200
W3 COUNTRY WOOD GLAZED WINDOW 1200 1350
GT 3/2 GLAZING 5400 2000
V COUNTRY WOOD GLAZED VENTILATOR 900 900

SPECIFICATION
FOUNDATION + R.C.C COLUMN FOOTINGS
BRICK WORK + C.M 1:6 FOR SUPER STRUCTURE
PLASTERING + C.M 1:5 FOR WALLS & 3 FOR CEILING
FLOORING + MOSAIC FLOORING
CEMENT PAINT + 2 COAT FOR WALLS &
1 EXTRA COAT FOR CEILING
R.C.C + MINIMUM GRADE M25 CONCRETE
WOOD WORK + ALL WOOD WORKS IN BEST
150 x 51.3 QUALITY TIMBER
WEATHERING + 8 JELLY LIME MORTAR OVER ROOF
COURSE + SLAB ONE LAYER OF COUNTRY TILES

COLOUR INDEX

PROPOSED ROAD	
BOUNDARY	

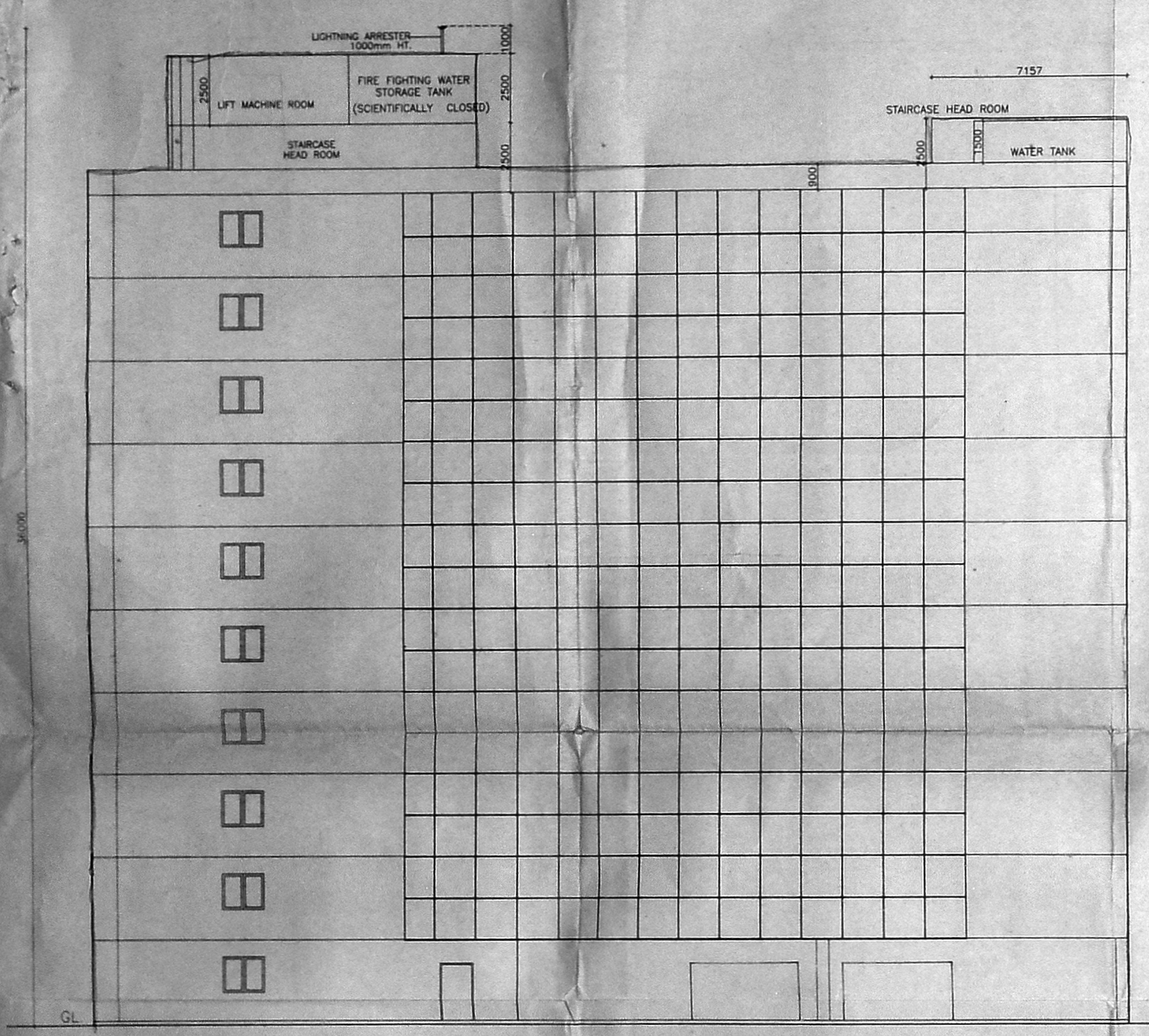
PROPOSED COMMERCIAL BUILDING AT DOOR NO. 173, 103A, 105A NELSON MANIKAM ROAD, CHENNAI. VADA AGARAM DIVISION, EGMORE - NUNGAMBAKKAM TALUK, CHENNAI DISTRICT. T.S. NO. 3/1, 4/12, 4/10 AT BLOCK NO. 3

OWNER POWER OF ATTORNEY SIGNATURE

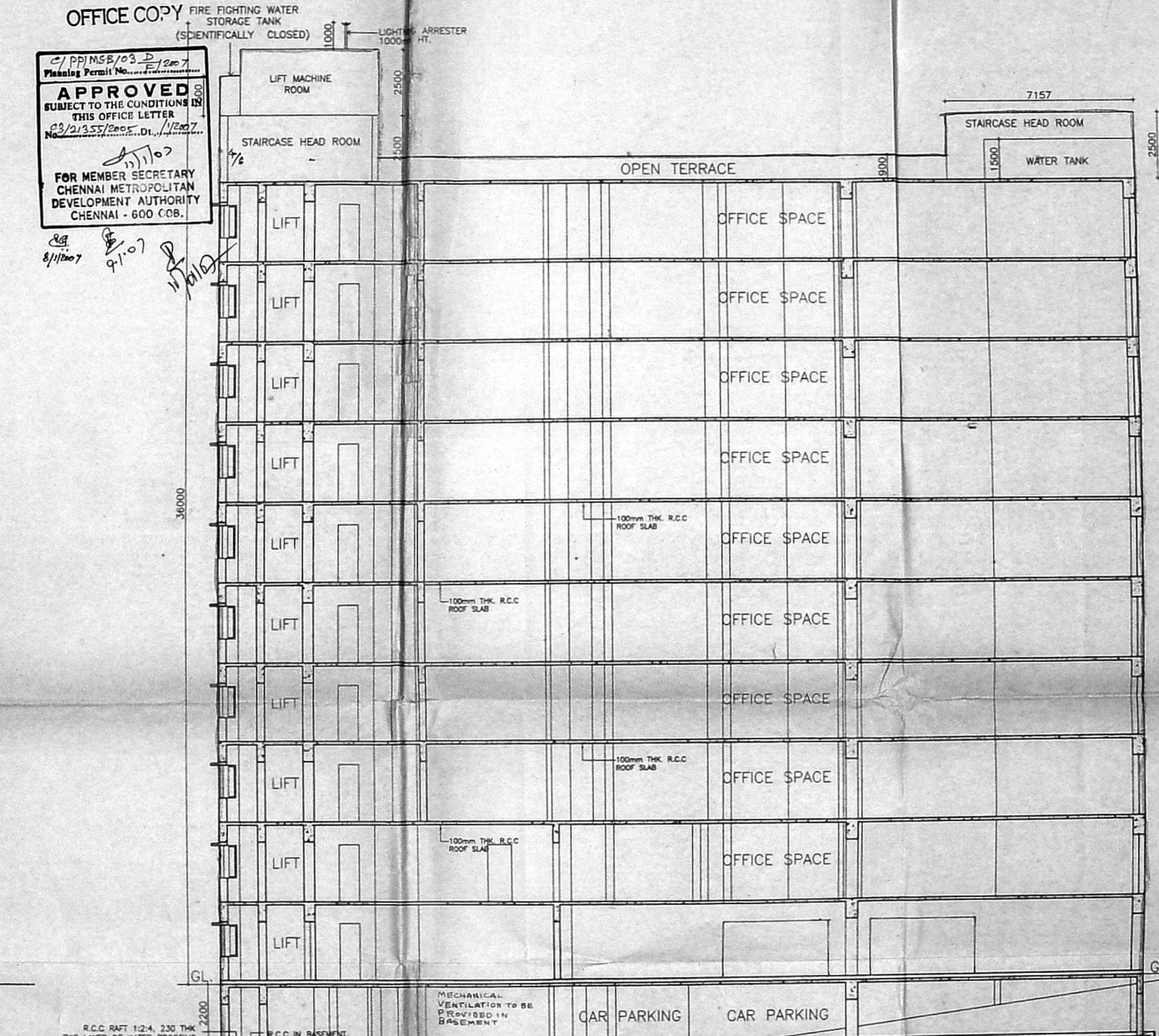
DATE	04/11/05
SCALE	1:100
FILE	CHENNAI

ARCHITECT
V. ARANGAN
ARCHITECT & PROJECT CONSULTANT
C/O. T. N. S. CHANNAYYAR
NO. 15, 15B, GANDHI ROAD, CHENNAI
APRIL, 2005
W. ARANGAN

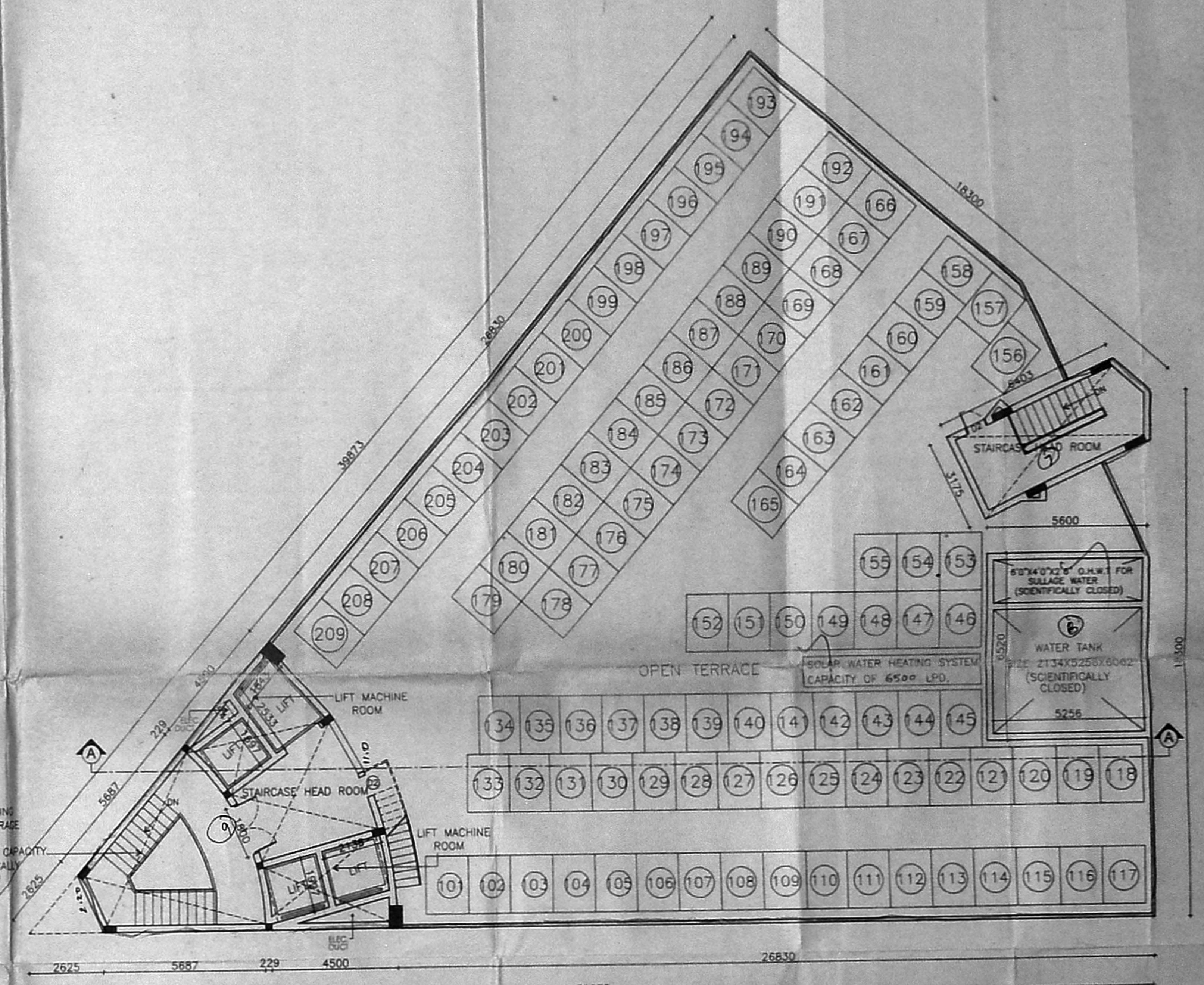
E-MAIL: anandarchitect@yahoo.com TEL: 52118272



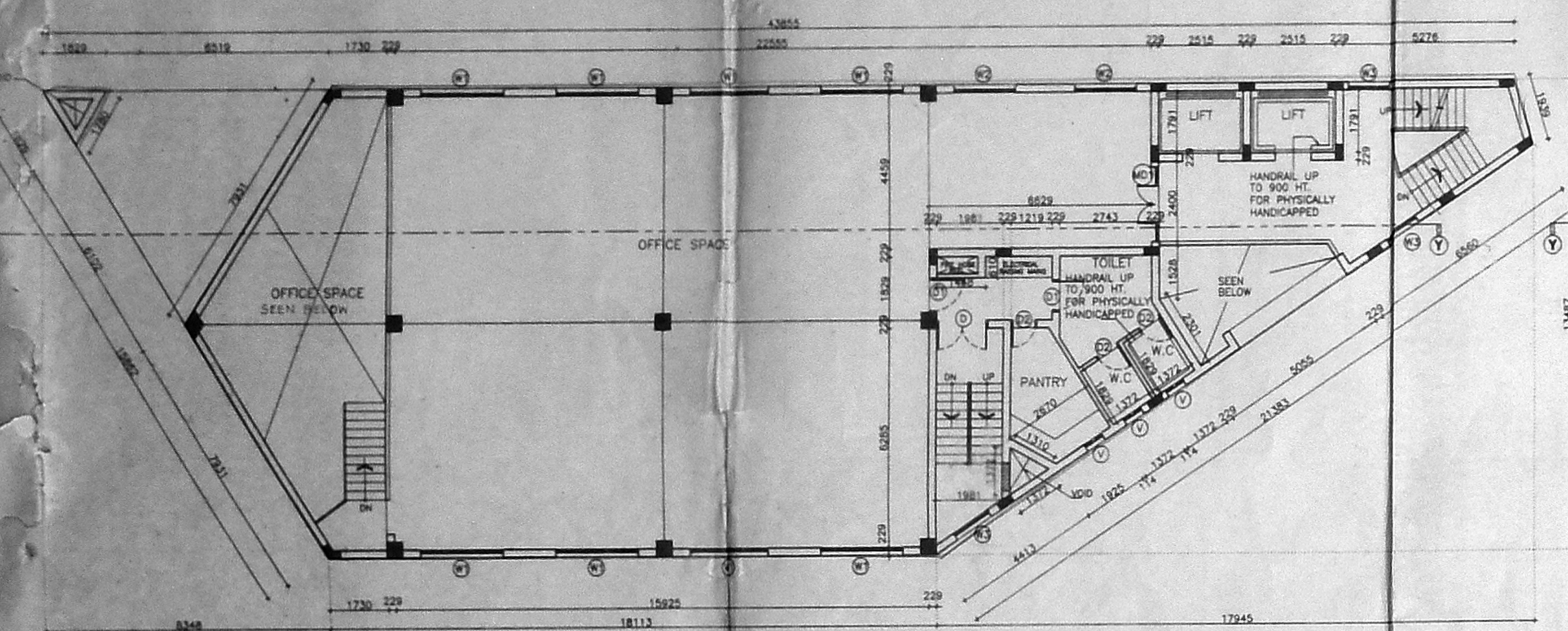
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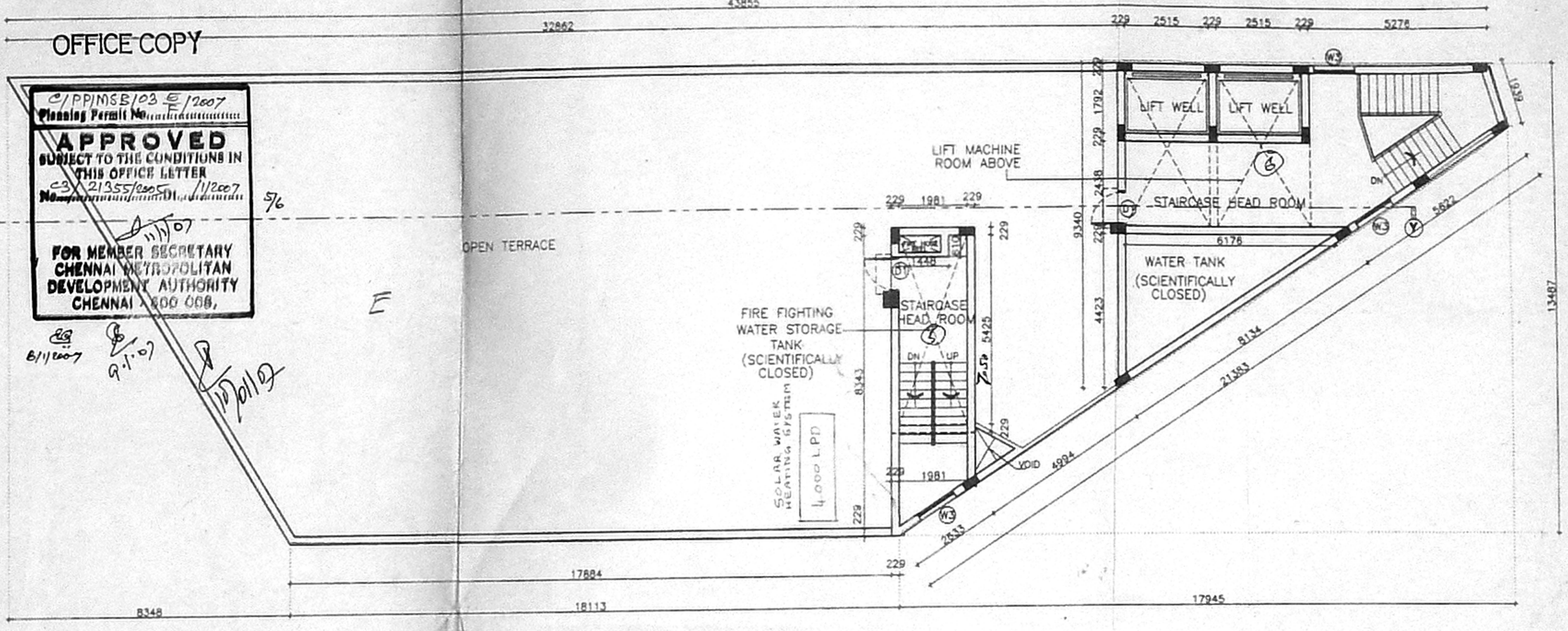
SECTION-AA



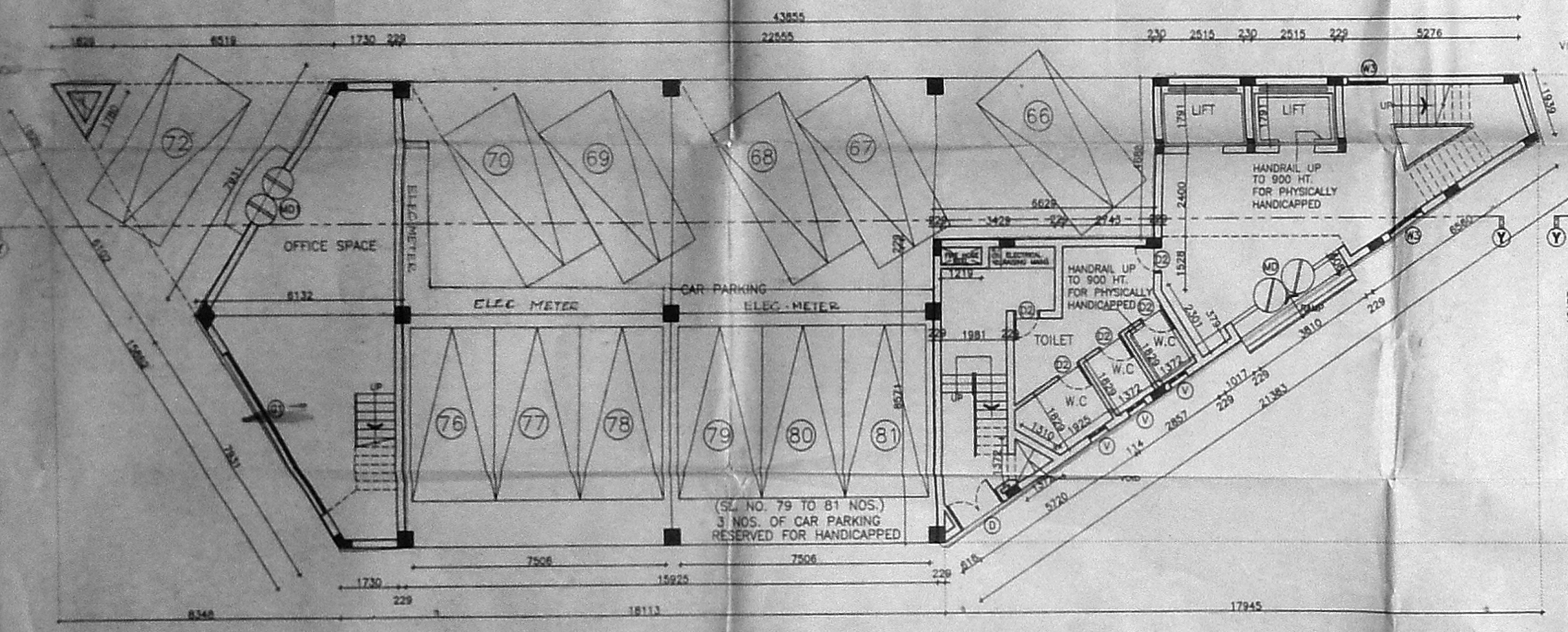
TERRACE FLOOR PLAN



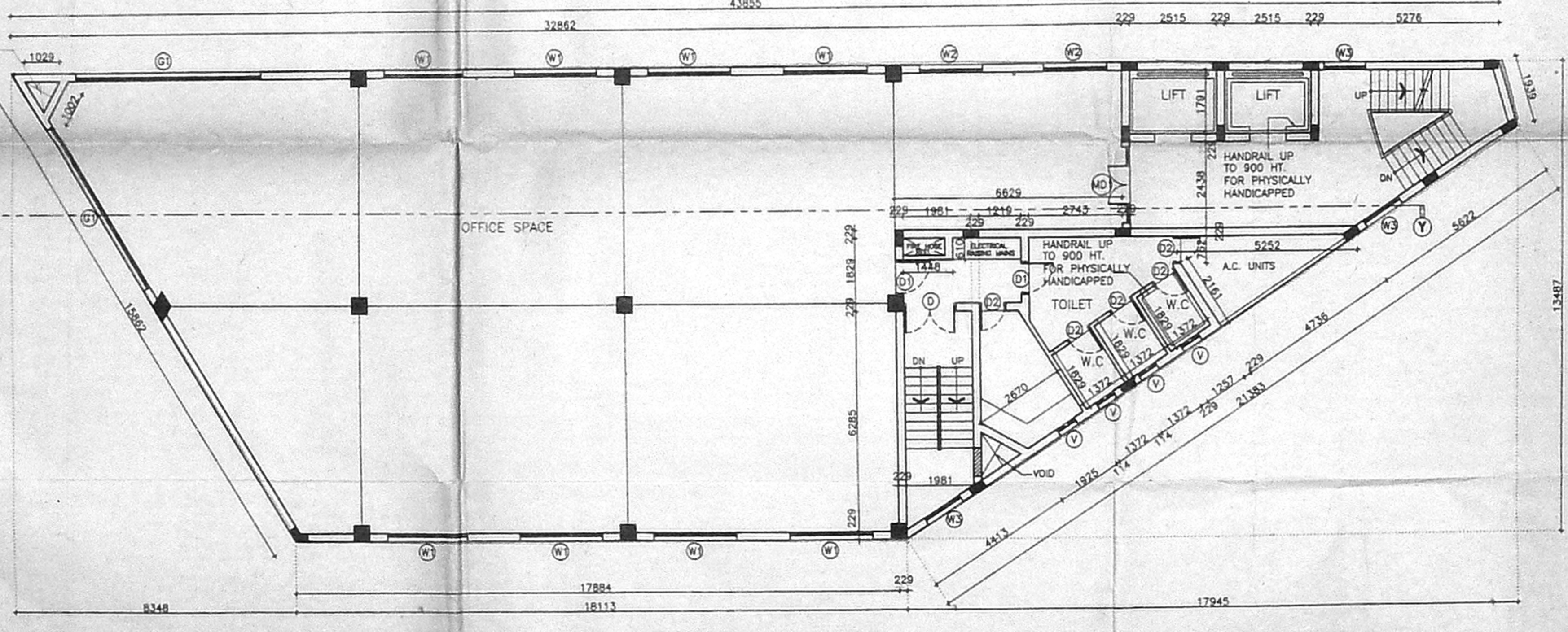
FIRST FLOOR PLAN



TERRACE FLOOR PLAN



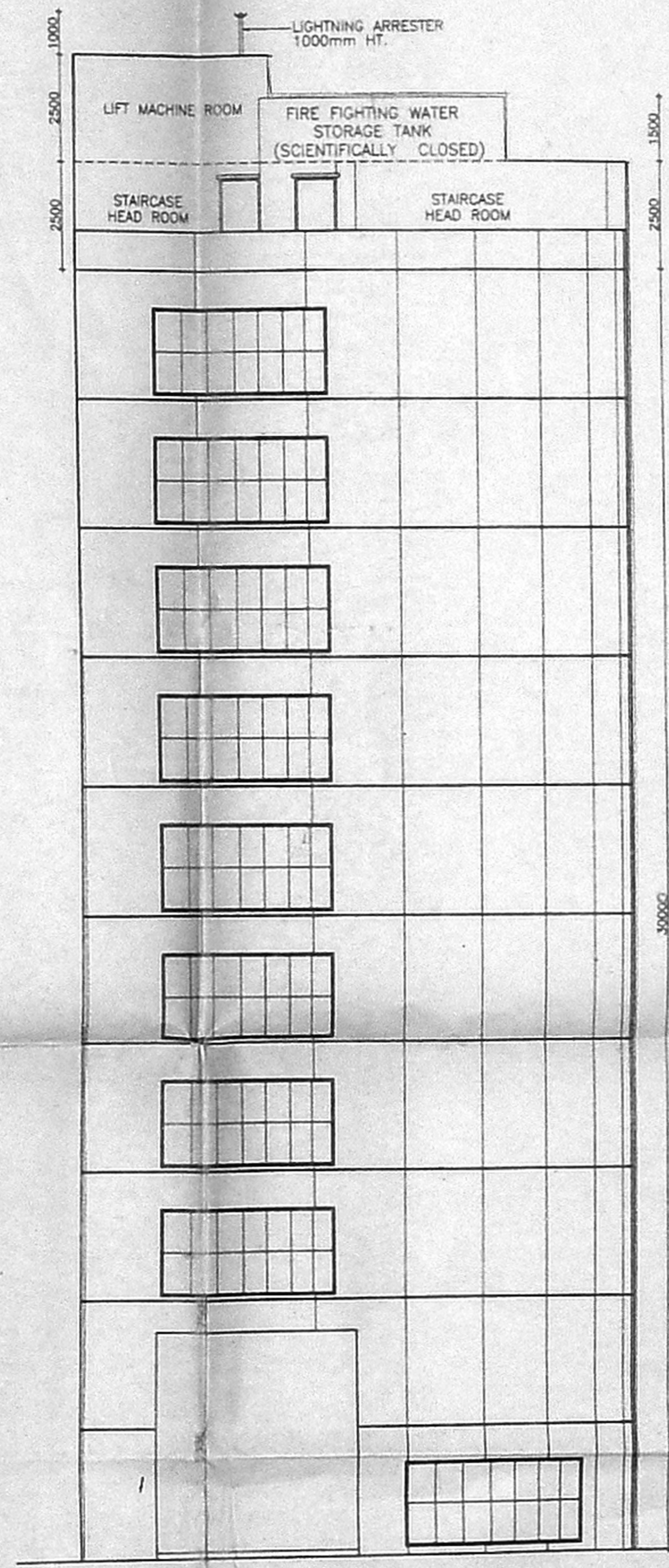
GROUND FLOOR PLAN



**TYPICAL FLOOR PLAN
[2 TO 9 FLOORS]**

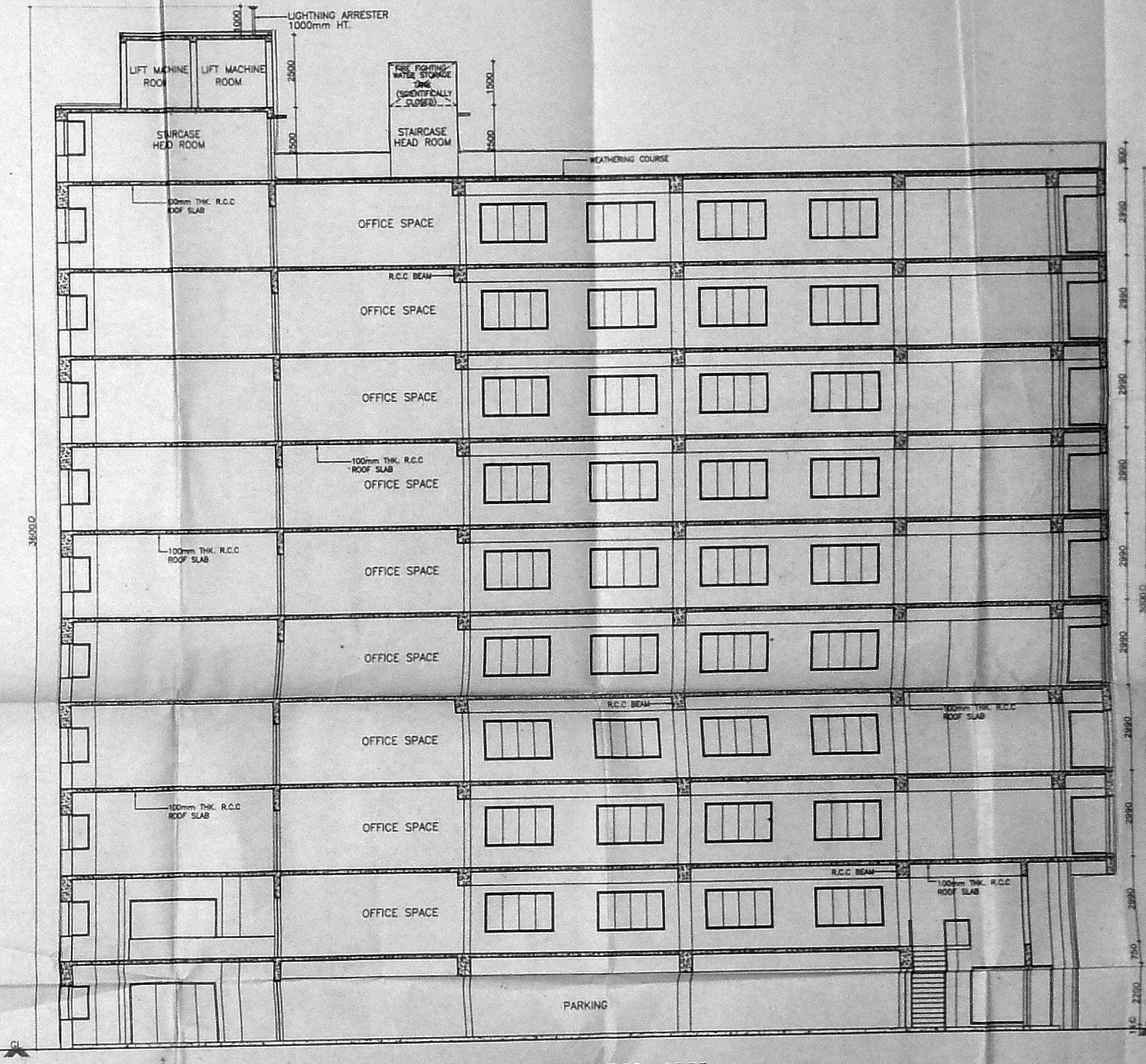
OFFICE COPY

APPROVED
SUBJECT TO THE CONDITIONS IN
THIS OFFICE LETTER
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI 600 008.



WEST SIDE ELEVATION

BLOCK - I



SECTION - Y Y

COMMERCIAL BLOCK

SHEET NO: 5/6 PLAT: 1

GMDA CO/PP NO: 1

C No: 5/21355/2005

NO.	COUNTY	ROAD	DOOR	AREA
01	WOOD	DOOR	1300	1300
02	WOOD	DOOR	1300	1300
03	WOOD	DOOR	1300	1300
04	WOOD	DOOR	1300	1300
05	WOOD	DOOR	1300	1300
06	WOOD	DOOR	1300	1300
07	WOOD	DOOR	1300	1300
08	WOOD	DOOR	1300	1300
09	WOOD	DOOR	1300	1300
10	WOOD	DOOR	1300	1300
11	WOOD	DOOR	1300	1300
12	WOOD	DOOR	1300	1300
13	WOOD	DOOR	1300	1300
14	WOOD	DOOR	1300	1300
15	WOOD	DOOR	1300	1300
16	WOOD	DOOR	1300	1300
17	WOOD	DOOR	1300	1300
18	WOOD	DOOR	1300	1300
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21	WOOD	DOOR	1300	1300
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96	WOOD	DOOR	1300	1300
97	WOOD	DOOR	1300	1300
98	WOOD	DOOR	1300	1300
99	WOOD	DOOR	1300	1300
100	WOOD	DOOR	1300	1300

SPECIFICATION

FOUNDATION : R.C.C. COLUMN FOOTINGS

BRICK WORK : C.M. 1:6 FOR SUPER STRUCTURE

PLASTERING : C.M. 1:5 FOR WALLS & 1:3 FOR CEILING

FLOORING : MOSAIC FLOORING

CEMENT PAINT : 2 COAT FOR WALLS & 1 EXTRA COAT FOR CEILING

R.C.C. : MINIMUM GRADE : M20

WOOD WORK : ALL WOOD WORKS IN BEST QUALITY TIMBER

WEATHERING : BEST LIME MORTAR ON ROOF COURSE

COURSE : SLAB ONE LAYER OF COUNTRY TILES

COLOUR INDEX

PROPOSED ROAD BOUNDARY

AREA STATEMENT

AREA STATEMENT	SQ.MT
GROUND FLOOR	162.362
FIRST FLOOR	348.493
SECOND FLOOR	428.832
THIRD FLOOR	428.832
FOURTH FLOOR	428.832
FIFTH FLOOR	428.832
SIXTH FLOOR	428.832
SEVENTH FLOOR	428.832
EIGHTH FLOOR	428.832
NINTH FLOOR	428.832

TOTAL AREA 3941.511

PROPOSED COMMERCIAL BUILDING AT DOOR NO. 173, 103A, 105A NELSON MANIKAM ROAD, CHENNAI VADA ACARAM DIVISION, EGMORE - NUNGAMBAKKAM TALUK CHENNAI DISTRICT T.S. NO. 3/1, 4/12, 4/10 AT BLOCK NO. 3

OWNER/POWER OF ATTORNEY SIGNATURE

DATE: 28/7/05

SCALE: 1:100

FILE: 1/MANIKAM

ARCHITECT

W. RAMANATHAN

ARCHITECT & ENGINEER

20/11, CHENNAI CENTRAL BUS STATION, CHENNAI - 600 008.

TEL: 26111111

E-MAIL: anandathirai@yahoo.com

CMDA C3/PP NO: 1
C. No. 52/21355/2005
Asst. Surveyor
PART - I
PART - II
D. P.

NOTE:

1. ALL DIMENSIONS AS SPECIFIED
2. FGL - FINISHED GROUND LEVEL
3. PS - PRESSURE SWITCH
4. PG - PRESSURE GAUGE
5. PHP - PILLAR HYDRANT POST

LEGEND 80X52

SNO.	DESCRIPTION	SYMBOL
1.	PUMPS	
2.	HOSE REEL/SWING TYPE	
3.	AIR RELEASE VALVE	
4.	FIRE BRIGADE INLET	
5.	EXTERNAL HYDRANT	
6.	PIPES	
7.	SWING TYPE DUAL PLATE	
8.	SINGLE HEADED LANDING VALVE	
9.	BUTTERFLY VALVE	
10.	'Y' TYPE STRAINER	
11.	NON RETURN VALVE	

PROJECT TITLE

PROPOSED COMMERCIAL BUILDING
 AT DOOR NO 173.103A, 105A
 NELSON MANICKAM ROAD, CHENNAI
 VADA AGARAM DIVISION
 EGMORE - NUNGAMBAKKAM TALUK
 CHENNAI DISTRICT
 T.S NO 3/1, 4/12, 4/10 AT
 BLOCK NO. 3.

N. Vasanthkumari A. M. P. A. Valliammal Achi
 A. P. Nachammai
 OWNERS SIGNATURE

W. Anand
W. ANAND DAYANIDHI
 ARCHITECT & PROJECT CONSULTANT
 Council Reg. No. CA/88/11431
 No. 18, 5th CROSS STREET, INDRA NAGAR,
 ADYAR, CHENNAI - 600 030

LICENSED SURVEYOR

NOTES

THE PUMP CAPACITY OF UNDER GROUND STATIC WATER TANK SHALL BE 250 LITERS PER ONE ELECTRICAL PUMP OF CAPACITY 100 LITERS WITH A PRESSURE SWITCH AND A STAND BY PUMP OF SAME CAPACITY DRIVEN BY PROVIDED
 2. A FIRE SERVICE INLET AT GROUND LEVEL FITTED WITH NON RETURN VALVE SHALL BE PROVIDED
 3. BY FIRE SERVICE PUMP
 4. ESCAPES AUTOMATIC FIRE ALARM SYSTEM. AIR CONDUITS SHALL CONFIRM TO THE REQUIREMENTS A NATIONAL BUILDING CODE OF INDIA 1983 GROUP 1 PART IV FIRE PROTECTION AMENDMENT NO. 3 JANUARY 1991.
 5. ALL ELECTRICAL DISTRIBUTION CABLES WIRING SHALL BE SEPARATELY PROVIDED IN THE CORRIDORS AND NEAR THE STAIRCASE AND LIFT ROOMS ETC. IN ACCORDANCE WITH APPROPRIATE NATIONAL BUILDING CODE OF INDIA 1983.
 6. ALL ROADS LEADING TO EXITS SHALL BE CLEARLY MARKED WITH RED PAINT AND THE CORRIDORS AND NEAR THE STAIRCASE AND LIFT ROOMS ETC. IN ACCORDANCE WITH APPROPRIATE NATIONAL BUILDING CODE OF INDIA 1983.
 7. THE FIRST AND FIRE FIGHTING EQUIPMENT SHALL BE PROVIDED DIRECTLY FROM THE SWITCH ROOM AND NOT THROUGH OTHER MASTER SWITCH.

OFFICE COPY
 APPROVED
 SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER
 FOR MEMBER SECRETARY
 CHENNAI METROPOLITAN
 DEVELOPMENT AUTHORITY
 CHENNAI - 600 030.

NOTES

MANUAL CALL POINTS AT 1200MM ABOVE FINISHED LEVEL
 HOOTER AT 2100MM ABOVE FINISHED LEVEL
 FIRE HOUSE CABINET CONFORMING TO 63MM Ø 1500MM HIGH WITH DRUM FOR EVERY 1000SQM FLOOR AREA. WET RISER COLUMN DOWN CORNER OF CLASS 'C' G.L. FIRE 150MM Ø PER SQM FLOOR AREA

FIRE ALARM SYSTEM

DETECTOR EACH AT EVERY
 MANUAL CALL POINTS SHALL BE IN ALL FLOORS

PUBLIC ADDRESS SYSTEM

SPEAKERS AND HOOTER SHALL BE PROVIDED IN ALL FLOORS

STAIRCASE

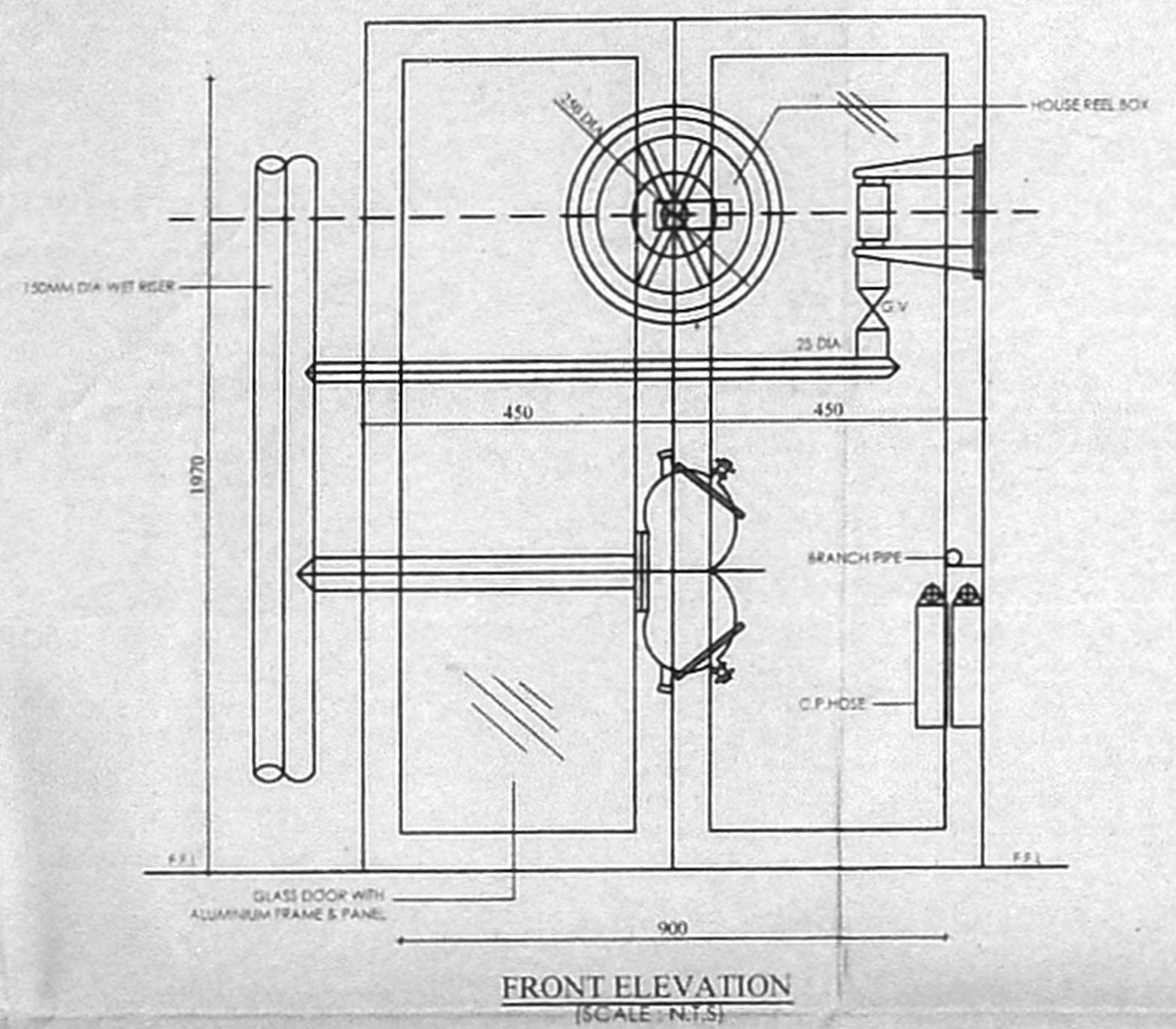
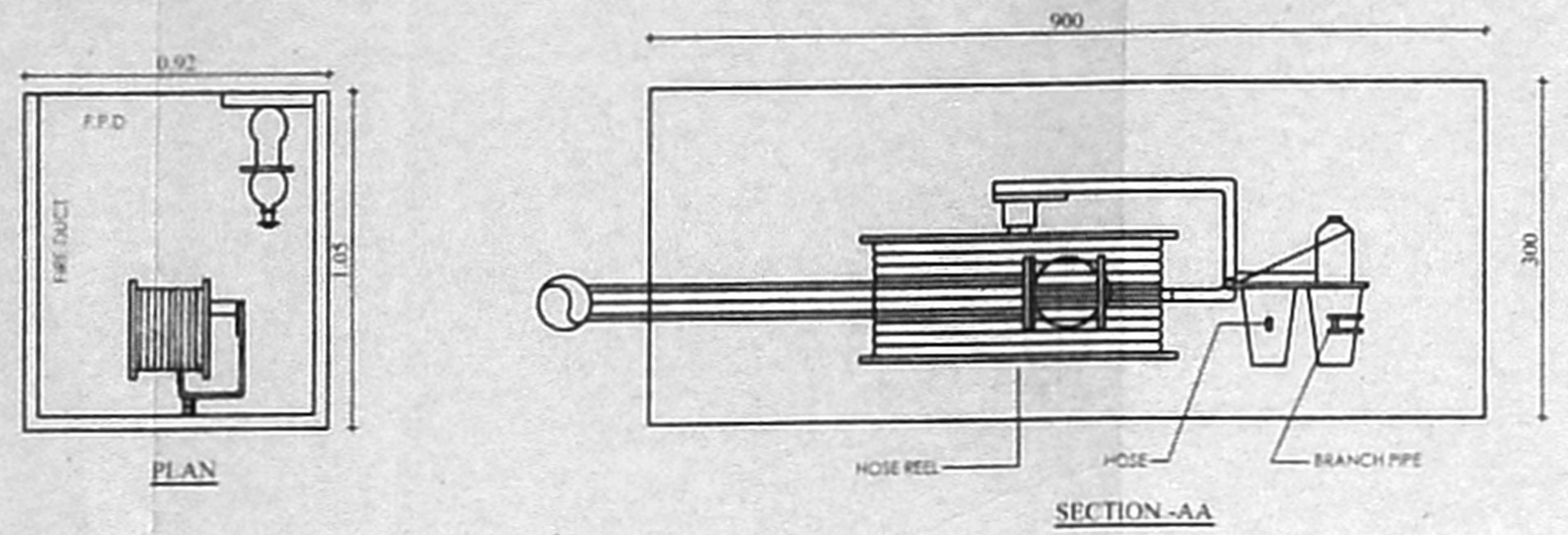
TRREAD 300MM RISER 150MM STAIRCASE WIDTH 1500MM(MIN.) STAIRS HEAD ROOM 2200MM (MIN.)
 NO OF RISERS PER FLIGHT = 15. HEIGHT OF HAND RAIL 1000MM (MIN). GAP BETWEEN TWO VERTICALS = 150MM

FIRE LIFT

LIFT CAPACITY - 13 PASSENGERS
 LIFT WITH AUTOMATIC OPERATED DOOR (SELF CLOSING TYPE)

EXTINGUISHER

CARBON DIOXIDE EXTINGUISHER NEAR MSB AND LIFT
 WATER PRESSURE EXTINGUISHER NEAR STAIR CASE
 FROM TYPE EXTINGUISHER NEAR TRANSFORMER YARD AND GENERATOR ROOM
 SAND FILLING FIRE BUCKET NEAR TRANSFORMER YARD AND GENERATOR ROOM
 SAND FILLING BUCKET NEAR TRANSFORMER YARD
 SMOKE DRY CHEMICAL POWDER EXTINGUISHER AT 1 NO. FOR EVERY 8 CAR



ARRANGEMENTS OF AIR RELEASE VALVE

